



SITE/ROOF PLAN
SCALE 1:200

REV	DATE
D	30 AUGUST 2013

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Chartered Architect No 6033

Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
SITE PLAN

North point:

Scale: Date:
1:200 @ A0 31.08.2012

Drawn: Checked:
JA DM

Drawing no.
DA111D

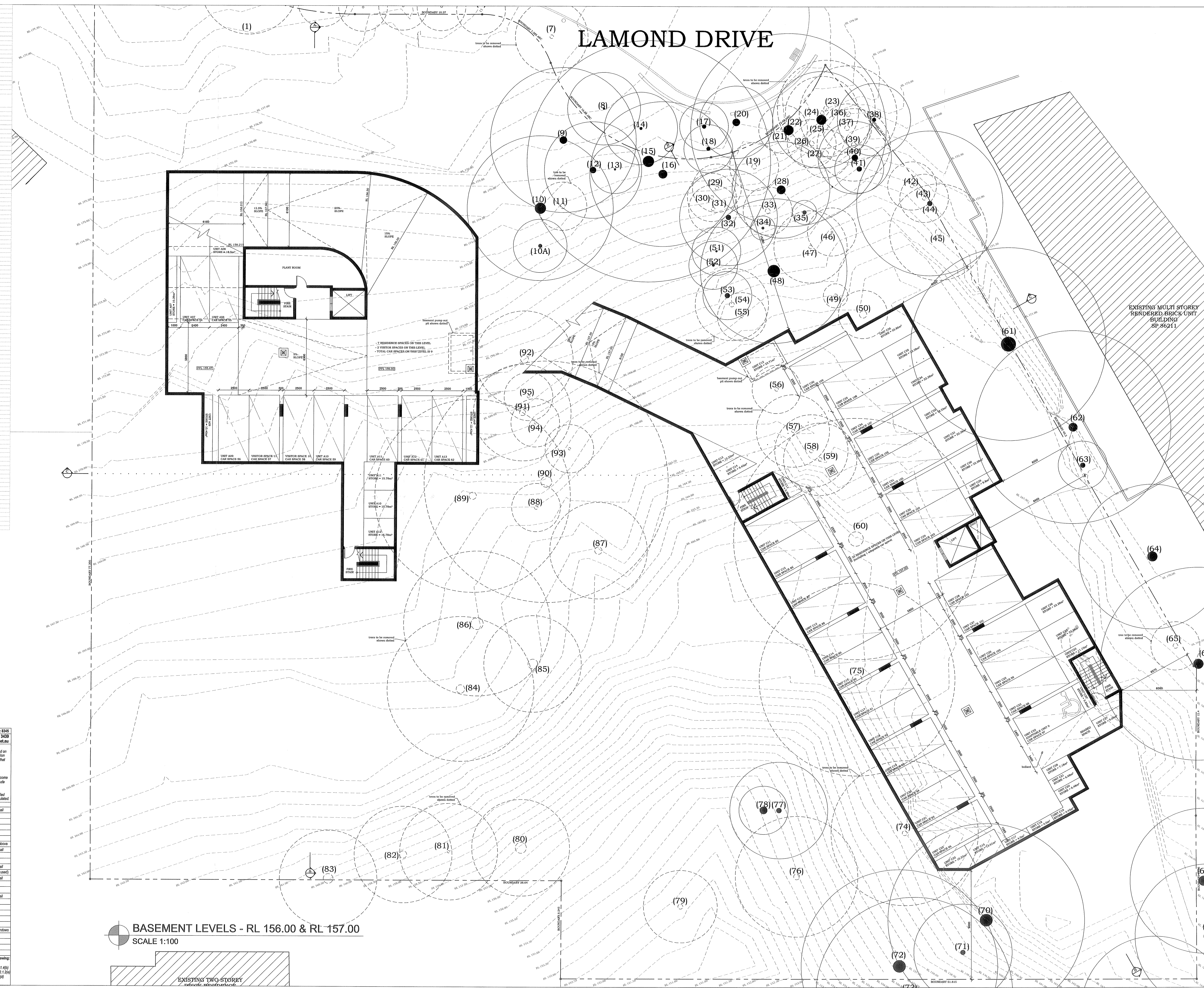
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5-15 LAMOND DRIVE TURRAMURRA	
REINFORCING	REBAR
REINFORCING	REBAR
TOTAL NUMBER OF RESIDENTIAL UNITS	83
BREAK DOWN OF UNITS - 1 BEDROOM	41
BREAK DOWN OF UNITS - 2 BEDROOM	39
BREAK DOWN OF UNITS - 3 BEDROOM	3
TOTAL CARPARKING SPACES FOR THIS DEVELOPMENT	100
BREAK DOWN - RESIDENTIAL TENANT SPACES	68
BREAK DOWN - RESIDENTIAL VISITOR SPACES	32
TOTAL NUMBER OF SPACES FOR THIS DEVELOPMENT	100

UNIT NO.	BEDS	PRIVATE AREA (m ²)	COMMON AREA (m ²)	STAIRCASE AREA (m ²)	STAIRCASE AREA (m ²)	STAIRCASE AREA (m ²)	STAIRCASE AREA (m ²)
U101	1	61.02	25.88	9.28	84.49	33.75	
U102	1	61.02	25.88	9.28	84.49	33.75	
U103	1	61.02	25.88	9.28	84.49	33.75	
U104	1	61.02	25.88	9.28	84.49	33.75	
U105	1	61.02	25.88	9.28	84.49	33.75	
U106	1	61.02	25.88	9.28	84.49	33.75	
U107	1	61.02	25.88	9.28	84.49	33.75	
U108	1	61.02	25.88	9.28	84.49	33.75	
U109	1	61.02	25.88	9.28	84.49	33.75	
U110	1	61.02	25.88	9.28	84.49	33.75	
U111	1	61.02	25.88	9.28	84.49	33.75	
U112	1	61.02	25.88	9.28	84.49	33.75	
U113	1	61.02	25.88	9.28	84.49	33.75	
U114	1	61.02	25.88	9.28	84.49	33.75	
U115	1	61.02	25.88	9.28	84.49	33.75	
U116	1	61.02	25.88	9.28	84.49	33.75	
U117	1	61.02	25.88	9.28	84.49	33.75	
U118	1	61.02	25.88	9.28	84.49	33.75	
U119	1	61.02	25.88	9.28	84.49	33.75	
U120	1	61.02	25.88	9.28	84.49	33.75	
U121	1	61.02	25.88	9.28	84.49	33.75	
U122	1	61.02	25.88	9.28	84.49	33.75	
U123	1	61.02	25.88	9.28	84.49	33.75	
U124	1	61.02	25.88	9.28	84.49	33.75	
U125	1	61.02	25.88	9.28	84.49	33.75	
U126	1	61.02	25.88	9.28	84.49	33.75	
U127	1	61.02	25.88	9.28	84.49	33.75	
U128	1	61.02	25.88	9.28	84.49	33.75	
U129	1	61.02	25.88	9.28	84.49	33.75	
U130	1	61.02	25.88	9.28	84.49	33.75	
U131	1	61.02	25.88	9.28	84.49	33.75	
U132	1	61.02	25.88	9.28	84.49	33.75	
U133	1	61.02	25.88	9.28	84.49	33.75	
U134	1	61.02	25.88	9.28	84.49	33.75	
U135	1	61.02	25.88	9.28	84.49	33.75	
U136	1	61.02	25.88	9.28	84.49	33.75	
U137	1	61.02	25.88	9.28	84.49	33.75	
U138	1	61.02	25.88	9.28	84.49	33.75	
U139	1	61.02	25.88	9.28	84.49	33.75	
U140	1	61.02	25.88	9.28	84.49	33.75	
U141	1	61.02	25.88	9.28	84.49	33.75	
U142	1	61.02	25.88	9.28	84.49	33.75	
U143	1	61.02	25.88	9.28	84.49	33.75	
U144	1	61.02	25.88	9.28	84.49	33.75	
U145	1	61.02	25.88	9.28	84.49	33.75	
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U151	1	61.02	25.88	9.28	84.49	33.75	
U152	1	61.02	25.88	9.28	84.49	33.75	
U153	1	61.02	25.88	9.28	84.49	33.75	
U154	1	61.02	25.88	9.28	84.49	33.75	
U155	1	61.02	25.88	9.28	84.49	33.75	
U156	1	61.02	25.88	9.28	84.49	33.75	
U157	1	61.02	25.88	9.28	84.49	33.75	
U158	1	61.02	25.88	9.28	84.49	33.75	
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U168	1	61.02	25.88	9.28	84.49	33.75	
U169	1	61.02	25.88	9.28	84.49	33.75	
U170	1	61.02	25.88	9.28	84.49	33.75	
U171	1	61.02	25.88	9.28	84.49	33.75	
U172	1	61.02	25.88	9.28	84.49	33.75	
U173	1	61.02	25.88	9.28	84.49	33.75	
U174	1	61.02	25.88	9.28	84.49	33.75	
U175	1	61.02	25.88	9.28	84.49	33.75	
U176	1	61.02	25.88	9.28	84.49	33.75	
U177	1	61.02	25.88	9.28	84.49	33.75	
U178	1	61.02	25.88	9.28	84.49	33.75	
U179	1	61.02	25.88	9.28	84.49	33.75	
U180	1	61.02	25.88	9.28	84.49	33.75	
U181	1	61.02	25.88	9.28	84.49	33.75	
U182	1	61.02	25.88	9.28	84.49	33.75	
U183	1	61.02	25.88	9.28	84.49	33.75	
U184	1	61.02	25.88	9.28	84.49	33.75	
U185	1	61.02	25.88	9.28	84.49	33.75	
U186	1	61.02	25.88	9.28	84.49	33.75	
U187	1	61.02	25.88	9.28	84.49	33.75	
U188	1	61.02	25.88	9.28	84.49	33.75	
U189	1	61.02	25.88	9.28	84.49	33.75	
U190	1	61.02	25.88	9.28	84.49	33.75	
U191	1	61.02	25.88	9.28	84.49	33.75	
U192	1	61.02	25.88	9.28	84.49	33.75	
U193	1	61.02	25.88	9.28	84.49	33.75	
U194	1	61.02	25.88	9.28	84.49	33.75	
U195	1	61.02	25.88	9.28	84.49	33.75	
U196	1	61.02	25.88	9.28	84.49	33.75	
U197	1	61.02	25.88	9.28	84.49	33.75	
U198	1	61.02	25.88	9.28	84.49	33.75	
U199	1	61.02	25.88	9.28	84.49	33.75	
U200	1	61.02	25.88	9.28	84.49	33.75	

External Wall Construction	Insulation	Colour (Solar Absorbance)	Detail
Cavity Brick	none	Any	
Internal Wall Construction	Insulation	Detail	
Plasterboard on studs & brick	none		
Ceiling Construction	Insulation	Detail	
Plasterboard	R5.0 to ceilings adjacent to roof space & decks above		
Roof Construction	Insulation Colour (Solar Absorbance)	Detail	
Metal	Fill	Any	
Concrete	none		
Floor Construction	Insulation Covering	Detail	
Concrete	none	As drawn (if not noted detail values used)	
Windows	Glass and frame type U SHGC Area sq m	Detail	
Glazing	Single clear Aluminium	As drawn	
Skylights	Glass and frame type U SHGC Area sq m	Detail	
U and SHGC values are according to AS/NZS 6838. Alternative products may be used if the U value is lower and the SHGC is less than 10% higher or lower than the above figures.			
External Window Cover	Detail		
As drawn			
Flood shading - Eaves	Width includes guttering, offset is distance above windows		
Walls: as drawn	Offset: as drawn	Nominal only, refer to plan for detail	
Flood shading - Other	Verandahs, Pergolas (type and description)		
Shaded areas and shade devices as drawn			

For construction in NSW the BCA Vol 1 or 2 must be complied with, in particular the following:
 - Thermal construction in accordance with Vol 1 Section A1.2 or Vol 2 Part 3.12.1.1
 - Thermal levels in accordance with Section 3.1.2.6.1 & 3.1.2.6.2 or Part 3.12.1.2.1.4
 - Compensating for loss of ceiling insulation in accordance with Section 3.12.1.2.1.4
 - Floor insulation in accordance with Section 3.12.1.2.1.4 or Part 3.12.1.2.1.4
 - Building sealing in accordance with Section 3.12.1.2.1 & 3.12.1.2.2



- BASIS REQUIREMENTS**
- All units must have 3 star (>6 but <=7.5/min) rated shower heads
 - All units must have 3 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath'm taps
 - All units must have 5 star rated gas instantaneous hot water system
 - All units must have their toilets connected to the central water tank
 - Each bathroom in all units must have an individual fan ducted to facade or roof
 - Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light
 - Bathrooms in units C13, C21 & C29 must have a manual switch on/off
 - Each kitchen in all units must have an individual fan ducted to facade or roof
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan ducted to facade or roof
 - Each laundry in all units must have a manual switch on/off
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
 - Artificial lighting to each kitchen, bathroom, laundry, hallways, 1 bedroom/study and 1 living/dining room
 - All common areas must have 3 star rated toilets & taps
 - Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor + 2 speed fan. The primary type of artificial lighting is fluorescent, with zoned switching with motion sensors.
 - Lift car No. 1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room (A) & (C) must be ventilated by exhaust only and be thermostatically controlled. The primary type of artificial lighting is fluorescent, with zoned switching with motion sensors.
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with daylight sensors & motion sensors
 - Lift No.1 must have gearless traction with VVVF motor servicing 11 levels (including basement)
 - Lift No.2 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
 - Development to have a 70,000 l rainwater tank
 - Rainwater tank must be configured to collect run off from at least 575m² of roof area of all buildings in the development and connect it to 2595m² of common landscaped area

REV	DATE
D	30 AUGUST 2013

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 Chartered Architect No. 60033

JOB:
RESIDENTIAL FLAT BUILDING - 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
BASEMENT LEVELS - RL156 & RL157.00

North point:

Scale: 1:100 @ A0
 Date: 31.08.2012
 Drawn: JA
 Checked: DM

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DA100d

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LAMOND DRIVE

EXISTING TWO STOREY BRICK RESIDENCE LOT 2 DP 260234

EXISTING ONE STOREY BRICK RESIDENCE

EXISTING MULTI STOREY RENDERED BRICK UNIT BUILDING SP 86411



- BASIS REQUIREMENTS**
- All units must have 3 star shower heads
 - All units must have 3 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath/m taps
 - All units must have 5 star rated gas instantaneous hot water system
 - All units must have their toilets connected to the central water tank
 - Each bathroom in all units must have an individual fan ducted to facade or roof
 - Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light & Bathrooms in units C13, C21 & C29 must have a manual switch on/off
 - Each kitchen in all units must have an individual fan ducted to facade or roof
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan ducted to facade or roof
 - Each laundry in all units must have a manual switch on/off
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry, hallways, 1 bedroom/study and 1 living/dining room
 - All common areas must have 3 star rated toilets & taps
 - Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor + 2 speed fan. The primary type of artificial lighting is fluorescent, with zoned switching with motion sensors.
 - Lift car No.1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room (A) & (C) must be ventilated by exhaust only and be thermostatically controlled. The primary type of artificial lighting is fluorescent, with manual on/ manual off switch
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with daylight sensors & motion sensors
 - Lift No.1 must have gearless traction with VVV F motor servicing 11 levels (including basement)
 - Lift No.2 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
 - Development to have a 70,000 ltr rainwater tank
 - Rainwater tank must be configured to collect run off from at least 575m² of roof area of all buildings in the development and connect it to 2595m² of common landscaped area

REV	DATE
C	01 JULY 2013

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 Chartered Architect No: 6033

Job:
RESIDENTIAL FLAT BUILDING - 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
BASEMENT LEVELS - RL 159.00 & RL 160.00

North point:

Scale: 1:100 @ A0
 Date: 31.08.2012
 Drawn: JA
 Checked: DM

DA101c
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BASEMENT LEVELS - RL 159.00 & RL 160.00
 SCALE 1:100

EXISTING TWO STOREY BRICK RESIDENCE LOT 5 DP 260234

LAMOND DRIVE



BASIS REQUIREMENTS

- All units must have 3 star (p6 but <=7.5L/min) rated shower heads
- All units must have 3 star rated toilet flushing system
- All units must have 5 star rated kitchen & bath/m taps
- All units must have 5 star rated gas instantaneous hot water system
- All units must have their toilets connected to the central water tank
- Each bathroom in all units must have an individual fan ducted to facade or roof
- Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light
- Bathrooms in units C13, C21 & C29 must have a manual switch on/off
- Each kitchen in all units must have an individual fan ducted to facade or roof
- Each kitchen in all units must have a manual switch on/off
- Each laundry in all units must have an individual fan ducted to facade or roof
- Each laundry in all units must have a manual switch on/off
- All units must have a gas cooktop & electric oven
- All units must have a well ventilated fridge space
- All units must have an indoor sheltered clothes drying line
- Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry, hallways, 1 bedroom/study and 1 living/dining room
- All common areas must have 3 star rated toilets & taps
- Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor + 2 speed fan. The primary type of artificial lighting is fluorescent, with zoned switching with motion sensors.
- Lift car No.1, 2 & 3 must have fluorescent lighting and be connected to lift call button
- Plant room or service room (A) & (C) must be ventilated by exhaust only and be thermostatically controlled. The primary type of artificial lighting is fluorescent, with manual on/off manual switch
- Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with daylight sensors & motion sensors
- Lift No.1 must have gearless traction with VVVF motor servicing 11 levels (including basement)
- Lift No.2 must have gearless traction with VVVF motor servicing 8 levels (including basement)
- Lift No.3 must have gearless traction with VVVF motor servicing 8 levels (including basement)
- Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
- Development to have a 70,000 ltr rainwater tank
- Rainwater tank must be configured to collect run off from at least 75% of roof area of all buildings in the development and connect it to 2595m2 of common landscaped area

REV	DATE
D	30 AUGUST 2013

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 Chartered Architect No 6033

Job: **RESIDENTIAL FLAT BUILDING - 5-15 LAMOND DRIVE TURRUMURRA**

Drawing title: **BASEMENT LEVEL & FLOOR PLAN: LEVEL RL 162.00 & RL 163.00**
 North point:

Scale: **1:100 @ A0** Date: **31.08.2012**

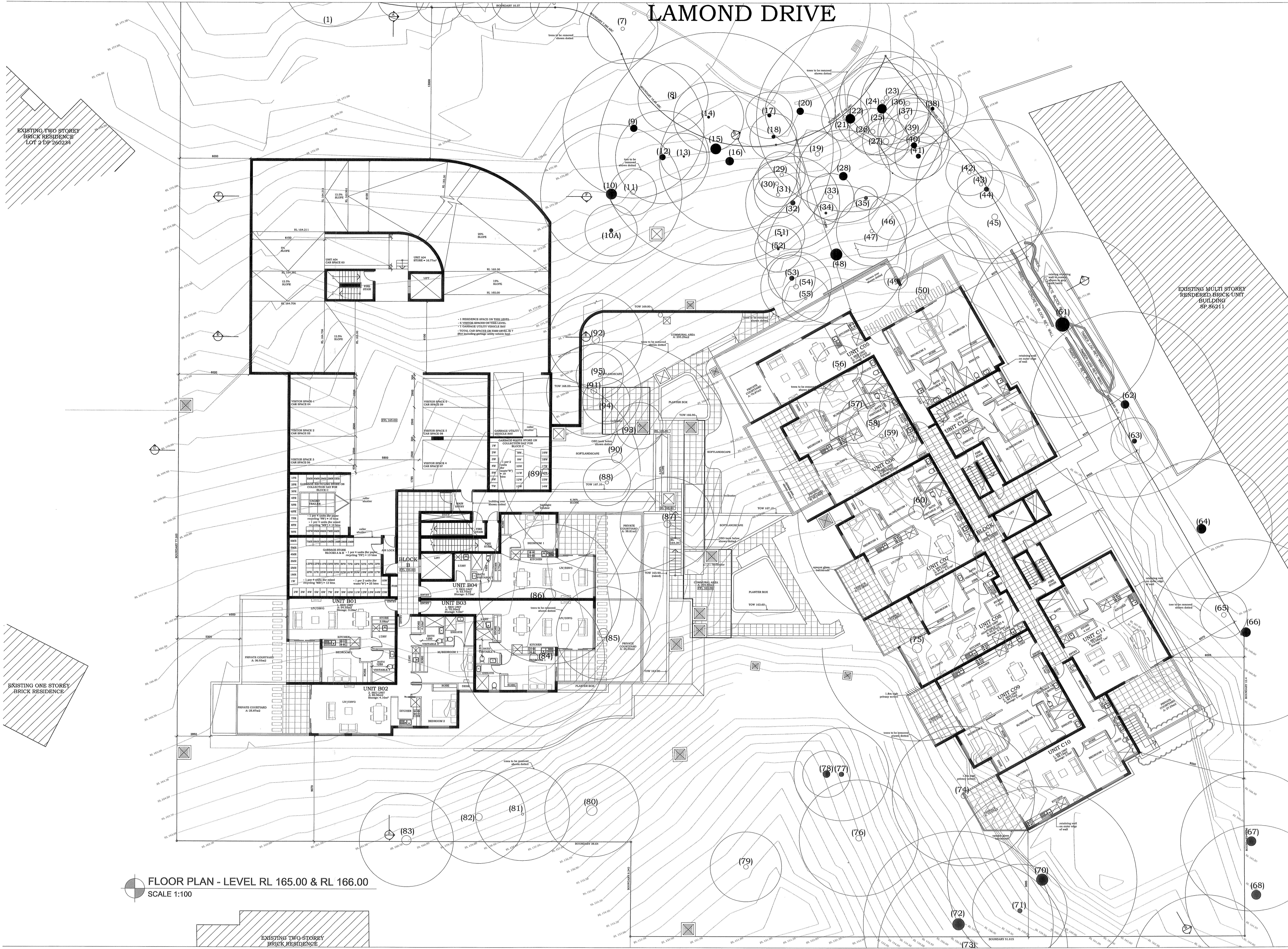
Drawn: **JA** Checked: **DM**

Drawing no. **DA102D**

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BASEMENT LEVEL RL - 162.00 & FLOOR PLAN - RL 163.00
 SCALE 1:100

LAMOND DRIVE



BASIX REQUIREMENTS

- All units must have 3 star (>6 but <=7.5L/min) rated shower heads
- All units must have 3 star rated toilet flushing system
- All units must have 5 star rated kitchen & bath'm taps
- All units must have 5 star rated gas instantaneous hot water system
- All units must have their toilets connected to the central water tank
- Each bathroom in all units must have an individual fan ducted to facade or roof
- Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light
- Bathrooms in units C13, C21 & C29 must have a manual switch on/off
- Each kitchen in all units must have an individual fan ducted to facade or roof
- Each kitchen in all units must have a manual switch on/off
- Each laundry in all units must have an individual fan ducted to facade or roof
- Each laundry in all units must have a manual switch on/off
- All units must have a gas cooktop & electric oven
- All units must have a well ventilated fridge space
- All units must have an indoor sheltered clothes drying line
- Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
- All dwellings to have artificial lighting to each kitchen, bathroom, laundry, hallway, 1 bedroom/study and 1 living/dining room
- All common areas must have 3 star rated toilets & taps
- Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor & 2 speed fan. The primary type of artificial lighting is fluorescent, with zoned switching with motion sensors
- Lift car No. 1, 2 & 3 must have fluorescent lighting and be connected to lift call button
- Plant room or service room (A) & (C) must be ventilated by exhaust only and be thermostatically controlled. The primary type of artificial lighting is fluorescent, with manual on/manual off switch
- Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with daylight sensors & motion sensors
- Lift No.1 must have gearless traction with VVVF motor servicing 11 levels (including basement)
- Lift No.2 must have gearless traction with VVVF motor servicing 8 levels (including basement)
- Lift No.3 must have gearless traction with VVVF motor servicing 8 levels (including basement)
- Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
- Development to have a 70,000 ltr rainwater tank
- Rainwater tank must be configured to collect run off from at least 575m² of roof area of all buildings in the development and connect it to 2595m² of common landscaped area

REV	DATE
D	30 AUGUST 2013

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Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
FLOOR PLANS: LEVEL RL 165.00 & RL 166.00

North point:

Scale: 1:100 @ A0
 Date: 31.08.2012

Drawn: JA
 Checked: DM

DA103D

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FLOOR PLAN - LEVEL RL 165.00 & RL 166.00
 SCALE 1:100

LAMOND DRIVE

EXISTING TWO STOREY BRICK RESIDENCE LOT 2 DP 260234

EXISTING MULTI STOREY RENDERED BRICK UNIT BUILDING SP 86211

EXISTING ONE STOREY BRICK RESIDENCE

FLOOR PLAN - LEVEL RL 168.00 & RL 169.00
SCALE 1:100

Building Sustainability Assessment
Certificate Number **14910296**
Accreditation Number **VIC280M(131461)**
Signature: *[Signature]* Date: **18/07/2013**

EXISTING TWO STOREY BRICK RESIDENCE LOT 5 DP 260234

- BASIX REQUIREMENTS**
- All units must have 3 star (R6 but <7.5L/min) rated shower heads
 - All units must have 3 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bathroom taps
 - All units must have 5 star rated gas instantaneous hot water system
 - All units must have their toilets connected to the central water tank
 - Each bathroom in all units must have an individual fan ducted to facade or roof
 - Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light
 - Bathrooms in units C13, C21 & C29 must have a manual switch on/off
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 - Each laundry in all units must have a manual fan ducted to facade or roof
 - Each laundry in all units must have a manual switch on/off
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry, hallways, 1 bedroom/study and 1 living/dining room
 - All common areas must have 3 star rated toilets & taps
 - Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor + 2 speed fan. The primary type of artificial lighting is fluorescent with motion sensors.
 - Lift car No.1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room (A) & (C) must be ventilated by exhaust only and be thermostatically controlled.
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with daylight sensors & motion sensors
 - Lift No.1 must have gearless traction with VVVF motor servicing 11 levels (including basement)
 - Lift No.2 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
 - Development to have a 70,000 ltr rainwater tank
 - Rainwater tank must be configured to collect run off from at least 575m² of roof area of all buildings in the development and connect it to 2585m² of common landscaped area

REV	DATE
C	01 JULY 2013

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Chartered Architect No 00333

Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing 956:
FLOOR PLANS: LEVEL RL 168.00 & RL 169.00
North point:

Scale: Date: **1:100 @ A0 31.08.2012**
Drawn: Checked:
JA DM
Drawing no. **DA104c**
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LAMOND DRIVE

EXISTING TWO STOREY BRICK RESIDENCE LOT 2 DP 260234

EXISTING MULTI STOREY RENDERED BRICK UNIT BUILDING SP 86211

EXISTING ONE STOREY BRICK RESIDENCE



- BASIX REQUIREMENTS**
- All units must have 3 star (>6 but <=7.5L/min) rated shower heads
 - All units must have 3 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath/m taps
 - All units must have 5 star rated gas instantaneous hot water system
 - All units must have their toilets connected to the central water tank
 - Each bathroom in all units must have an individual fan ducted to facade or roof
 - Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light
 - Bathrooms in units C13, C21 & C29 must have a manual switch on/off
 - Each kitchen in all units must have an individual fan ducted to facade or roof
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan ducted to facade or roof
 - Each laundry in all units must have a manual switch on/off
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry, hallways, 1 bedroom/study and 1 living/dining room
 - All common areas must have 3 star rated toilets & taps
 - Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor + 2 speed fan. The primary type of artificial lighting is fluorescent with motion sensors.
 - Lift car No.1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room (A) & (C) must be ventilated by exhaust only and be thermostatically controlled. The primary type of artificial lighting is fluorescent, with manual on/manual off switch
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with daylight sensors & motion sensors
 - Lift No.1 must have gearless traction with VVVF motor servicing 11 levels (including basement)
 - Lift No.2 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
 - Development to have a 70,000 ltr rainwater tank
 - Rainwater tank must be configured to collect run off from at least 575m² of roof area of all buildings in the development and connect it to 2595m² of common landscaped area

REV	DATE
C	01 JULY 2013

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 Chartered Architect No: 80333

Job: **RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA**
 Drawing title: **FLOOR PLANS: LEVEL RL 171.00 & RL 172.00**
 North point:

Scale: 1:100 @ A0
 Date: 31.08.2012
 Drawn: JA
 Checked: DM

DA105c
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FLOOR PLAN - LEVEL RL 171.00 & RL 172.00
 SCALE 1:100

Building Sustainability Assessment
 Certificate Number: **14910296**
 Accreditation Number: **VIC0200131491**
 Signature: [Signature] Date: **18/07/2013**

EXISTING TWO STOREY BRICK RESIDENCE LOT 5 DP 260234

LAMOND DRIVE



- BASIX REQUIREMENTS**
- All units must have 3 star (>6 but <=7.5L/min) rated shower heads
 - All units must have 3 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath/rm taps
 - All units must have 5 star rated gas instantaneous hot water system
 - All units must have their toilets connected to the central water tank
 - Each bathroom in all units must have an individual fan ducted to facade or roof
 - Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light
 - Bathrooms in units C13, C21 & C29 must have a manual switch on/off
 - Each kitchen in all units must have an individual fan ducted to facade or roof
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan ducted to facade or roof
 - Each laundry in all units must have a manual switch on/off
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry, hallways, 1 bedroom/study and 1 living/dining room
 - All common areas must have 3 star rated toilets & taps
 - Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor + 2 speed fan. The primary type of artificial lighting is fluorescent, with zoned switching with motion sensors.
 - Lift car No.1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room (A) & (C) must be ventilated by exhaust only and be thermostatically controlled. The primary type of artificial lighting is fluorescent, with manual on/manual off switch
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with daylight sensors & motion sensors
 - LIR No.1 must have gearless traction with VVV F motor servicing 11 levels (including basement)
 - Lift No.2 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
 - Development to have a 70,000 ltr rainwater tank
 - Rainwater tank must be configured to collect run off from at least 575m² of roof area of all buildings in the development and connect it to 2595m² of common landscaped area

Building Sustainability Assessment
 Certificate Number **14910296**
 Accreditation Number **VICBA0131491**
 Signature: *[Signature]* Date: **18/07/2013**

FLOOR PLAN - LEVEL RL 174.00 & RL 175.00
 SCALE 1:100

REV	DATE
C	01 JULY 2013

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 Chartered Architect No 6033

Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing Title:
FLOOR PLANS: LEVEL RL 174.00 & RL 175.00

North point:

Scale: **1:100 @ A0** Date: **31.08.2012**
 Drawn: **JA** Checked: **DM**
 Drawing no. **DA106c**
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LAMOND DRIVE



- BASIX REQUIREMENTS**
- All units must have 3 star shower heads
 - All units must have 3 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bathrm taps
 - All units must have 5 star rated gas instantaneous hot water system
 - All units must have their toilets connected to the central water tank
 - Each bathroom in all units must have an individual fan ducted to facade or roof
 - Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light
 - Bathrooms in units C13, C21 & C29 must have a manual switch on/off
 - Each kitchen in all units must have an individual fan ducted to facade or roof
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan ducted to facade or roof
 - Each laundry in all units must have a manual switch on/off
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry, hallways, 1 bedroom/study and 1 living/dining room
 - All common areas must have 3 star rated toilets & taps
 - Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor + 2 speed fan. The primary type of artificial lighting is fluorescent, with zoned switching with motion sensors.
 - Lift car No. 1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room (A) & (C) must be ventilated by exhaust only and be thermostatically controlled. The primary type of artificial lighting is fluorescent, with manual on/ manual off switch
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with daylight sensors & motion sensors
 - Lift No. 1 must have gearless traction with VV F motor servicing 11 levels (including basement)
 - Lift No. 2 must have gearless traction with VV F motor servicing 8 levels (including basement)
 - Lift No. 3 must have gearless traction with VV F motor servicing 8 levels (including basement)
 - Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
 - Development to have a 70,000 lt rainwater tank
 - Rainwater tank must be configured to collect run off from at least 575m2 of roof area of all buildings in the development and connect it to 2585m2 of common landscaped area

FLOOR PLAN - LEVEL RL 177.00 & RL 178.00
SCALE 1:100

Certificate Number: 14910296

 Accreditation Number: VVCDM131481

 Signature: [Signature] Date: 18/07/2013

REV	DATE
C	01 JULY 2013

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 Chartered Architect No 6533

Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
FLOOR PLANS: LEVEL RL 177.00 & RL 178.00

North point:

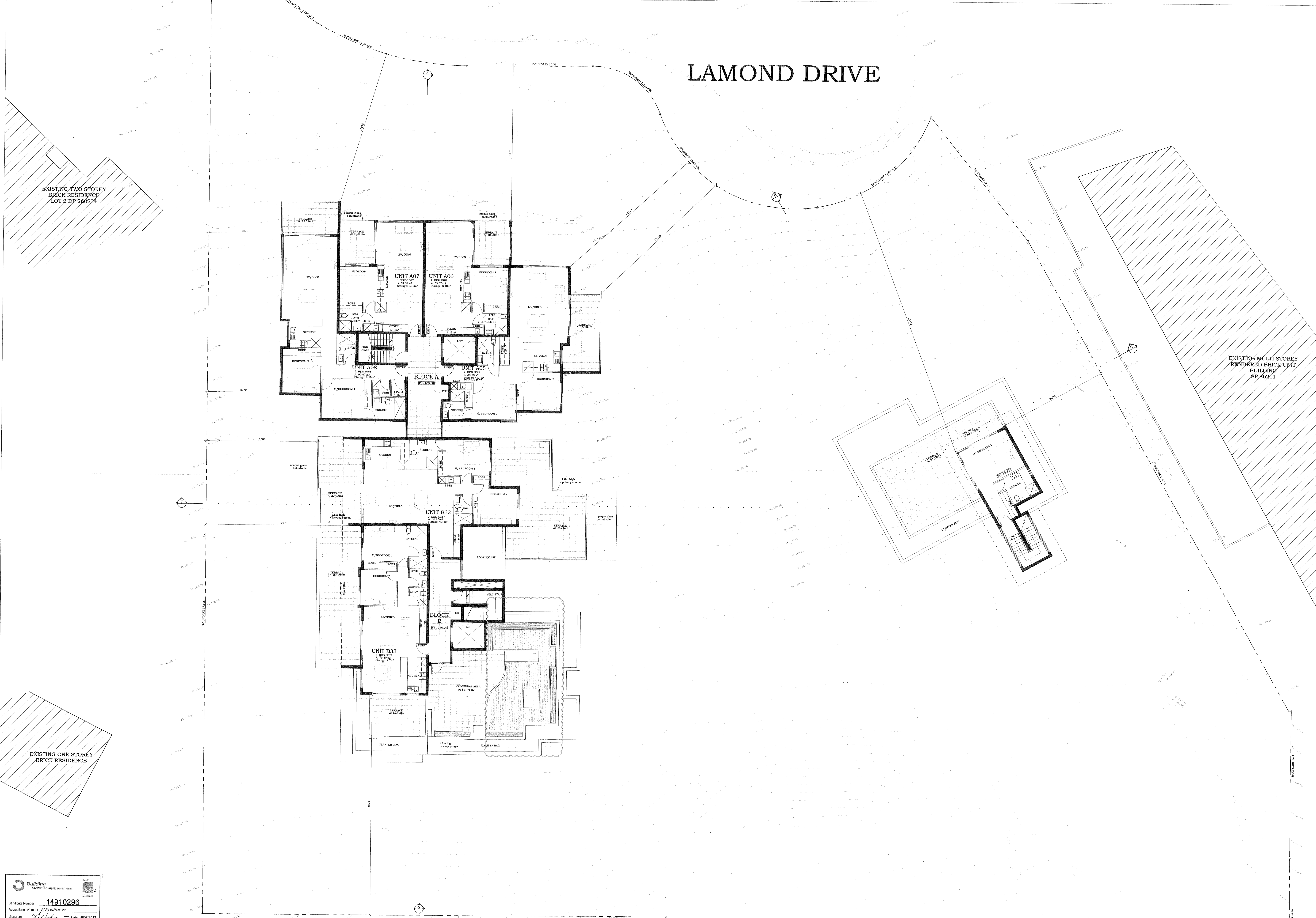
Scale: 1:100 @ A0
 Date: 31.08.2012

Drawn: JA
 Checked: DM

DA107c

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LAMOND DRIVE



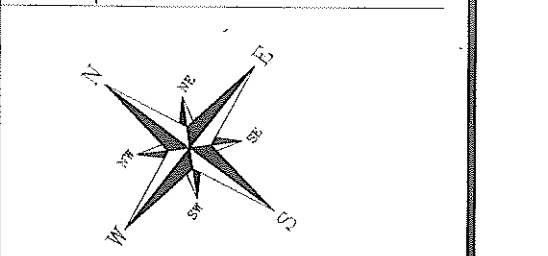
- BASIS REQUIREMENTS**
- All units must have 3 star (≥6 but <=7.5L/min) rated shower heads
 - All units must have 3 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath'r'm taps
 - All units must have 5 star rated gas instantaneous hot water system
 - All units must have their toilets connected to the central water tank
 - Each bathroom in all units must have an individual fan ducted to facade or roof
 - Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light
 - Bathrooms in units C13, C21 & C29 must have a manual switch on/off;
 - Each kitchen in all units must have an individual fan ducted to facade or roof
 - Each kitchen in all units must have a manual switch on/off;
 - Each laundry in all units must have an individual fan ducted to facade or roof
 - Each laundry in all units must have a manual switch on/off;
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry, hallways, 1 bedroom/study and 1 living/dining room
 - All common areas must have 3 star rated toilets & taps
 - Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor + 2 speed fan. The primary type of artificial lighting is fluorescent, with zoned switching with motion sensors.
 - Lift car No.1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room (A) & (C) must be ventilated by exhaust only and be thermostatically controlled.
 - The primary type of artificial lighting is fluorescent, with manual on/off switch
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with daylight sensors & motion sensors
 - Lift No.1 must have gearless traction with VVVF motor servicing 11 levels (including basement)
 - Lift No.2 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVVF motor servicing 8 levels (including basement)
 - Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
 - Development to have a 70,000 ltr rainwater tank
 - Rainwater tank must be configured to collect run off from at least 575m² of roof area of all buildings in the development and connect it to 2555m² of common landscaped area

REV	DATE
C	01 JULY 2013

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 Chartered Architect No 60233

Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing title:
FLOOR PLANS: LEVEL RL 180.00 & RL 181.00



Scale: 1:100 @ A0
 Date: 31.08.2012

Drawn: JA
 Checked: DM

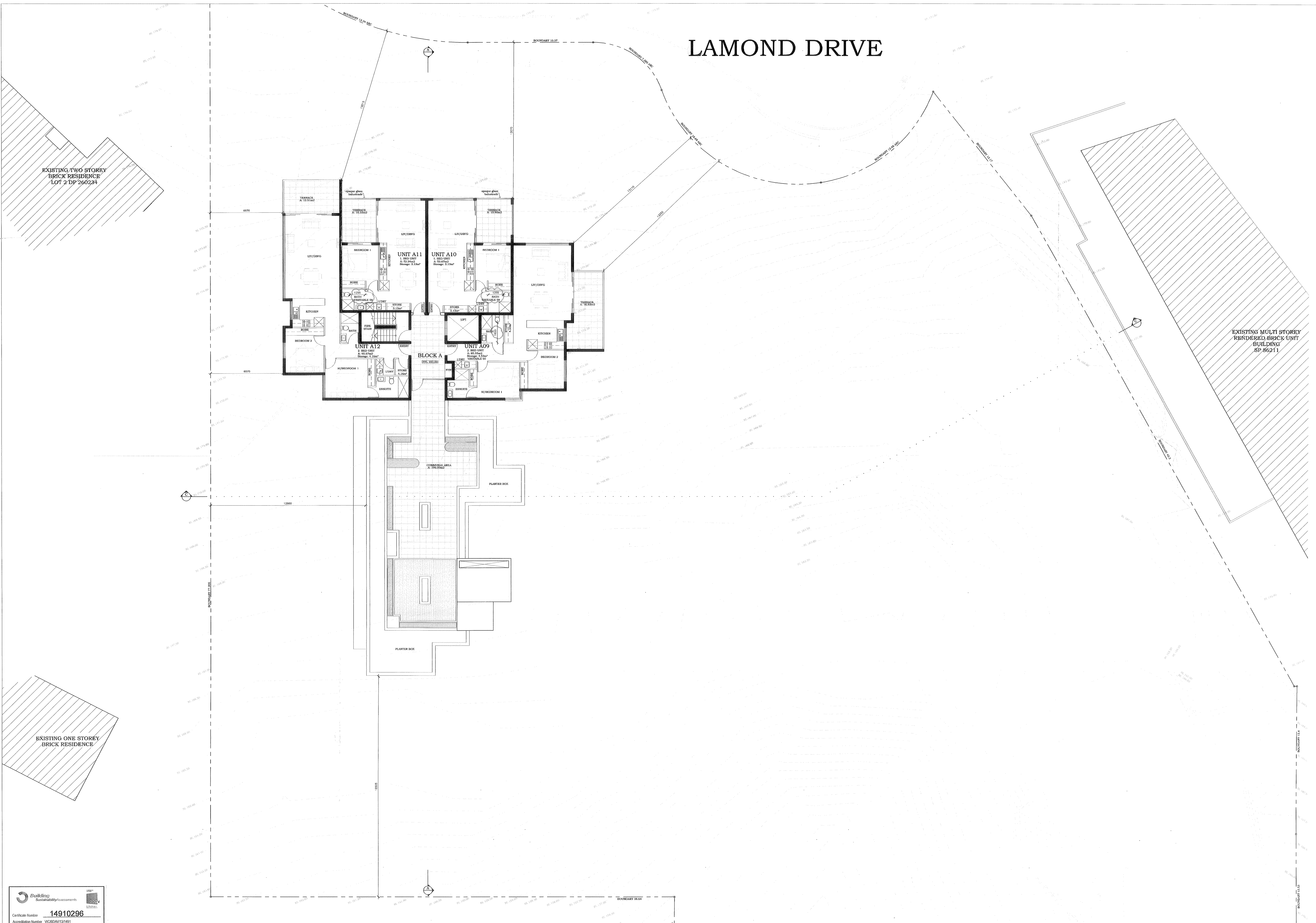
Drawing no.: **DA108c**

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Building Sustainability Assessment (BSA) logo
 Certificate Number: 14910296
 Accreditation Number: VICBOM/131491
 Signature: [Signature]
 Date: 18/07/2013

FLOOR PLAN - LEVEL RL 180.00 & RL 181.00
 SCALE 1:100

LAMOND DRIVE



- BASIX REQUIREMENTS**
- All units must have 3 star (>6 but <=7.5L/min) rated shower heads
 - All units must have 3 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath'm taps
 - All units must have 5 star rated gas instantaneous hot water system
 - All units must have their toilets connected to the central water tank
 - Each bathroom in all units must have an individual fan ducted to facade or roof
 - Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light
 - Bathrooms in units C13, C21 & C29 must have a manual switch on/off
 - Each kitchen in all units must have an individual fan ducted to facade or roof
 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan ducted to facade or roof
 - Each laundry in all units must have a manual switch on/off
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry, hallways, 1 bedroom/study and 1 living/dining room
 - All common areas must have 3 star rated toilets & taps
 - Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor + 2 speed fan. The primary type of artificial lighting is fluorescent, with zoned switching with motion sensors.
 - Lift car No.1, 2 & 3 must have fluorescent lighting and be connected to lift call button
 - Plant room or service room (A) & (C) must be ventilated by exhaust only and be thermostatically controlled. The primary type of artificial lighting is fluorescent, with manual on/ manual off switch
 - Block A, B & C Lobbies must have no mechanical ventilation, fluorescent lighting with daylight sensors & motion sensors
 - Lift No.1 must have gearless traction with VVV F motor servicing 11 levels (including basement)
 - Lift No.2 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Lift No.3 must have gearless traction with VVV F motor servicing 8 levels (including basement)
 - Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
 - Development to have a 70,000 ltr rainwater tank
 - Rainwater tank must be configured to collect run off from at least 575m² of roof area of all buildings in the development and connect it to 2595m² of common landscaped area

EXISTING TWO STOREY BRICK RESIDENCE LOT 2 DP 260234

EXISTING MULTI STOREY RENDERED BRICK UNIT BUILDING SP 86211

EXISTING ONE STOREY BRICK RESIDENCE

Building Sustainability Assessment

Certificate Number **14910296**

Accreditation Number **VIC/BAU/131491**

Signature *[Signature]* Date **18/07/2013**

FLOOR PLAN - LEVEL RL 183.00
SCALE 1:100

REV	DATE
B	04 FEB 2013

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Chartered Architect No 6033

Job: **RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA**

Drawing Title: **FLOOR PLAN: LEVEL RL 183.00**

North point:

Scale: **1:100 @ A0** Date: **31.08.2012**

Drawn: **JA** Checked: **DM**

Drawing no. **DA109B**

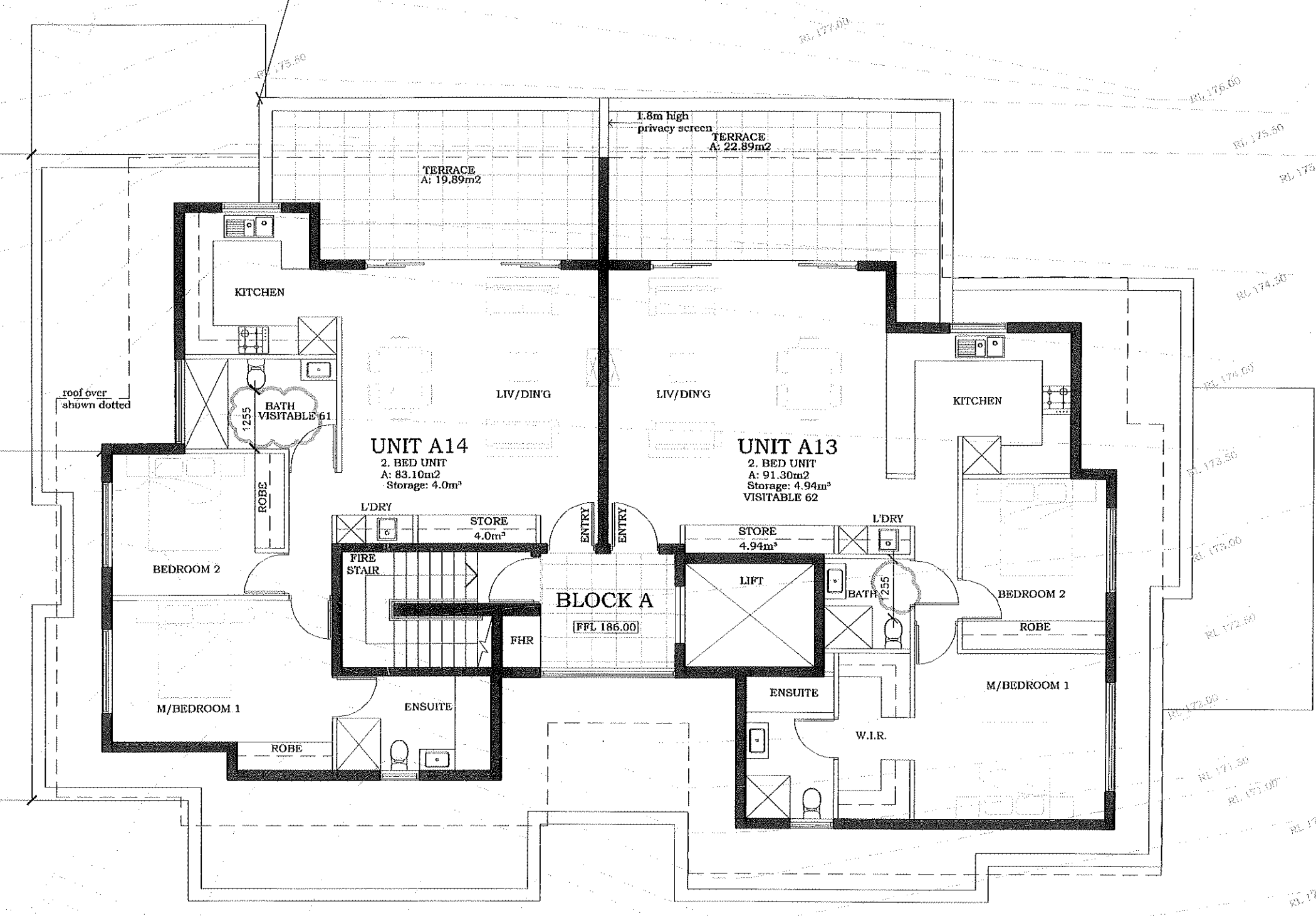
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LAMOND DRIVE

EXISTING TWO STOREY BRICK RESIDENCE LOT 2 DP 266234

EXISTING ONE STOREY BRICK RESIDENCE

EXISTING MULTI STOREY RENDERED BRICK UNIT BUILDING SP 86211



- BASIX REQUIREMENTS**
- All units must have 3 star (0-6 but <=7.5L/min) rated shower heads
 - All units must have 3 star rated toilet flushing system
 - All units must have 5 star rated kitchen & bath/m taps
 - All units must have 5 star rated gas instantaneous hot water system
 - All units must have their toilets connected to the central water tank
 - Each bathroom in all units must have an individual fan ducted to facade or roof
 - Each bathroom in all units (except units C13, C21 & C29) must have their operation controls interlocked to light
 - Bathrooms in units C13, C21 & C29 must have a manual switch on/off
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 - Each kitchen in all units must have a manual switch on/off
 - Each laundry in all units must have an individual fan ducted to facade or roof
 - Each laundry in all units must have a manual switch on/off
 - All units must have a gas cooktop & electric oven
 - All units must have a well ventilated fridge space
 - All units must have an indoor sheltered clothes drying line
 - Units B1, B2, B3, B4, B5, B6, C5 & C11 must have an indoor sheltered clothes drying line
 - All dwellings to have artificial lighting to each kitchen, bathroom, laundry, hallways, 1 bedroom/study and 1 living/dining room
 - All common areas must have 3 star rated toilets & taps
 - Car park area (A), (B) & (C) must be ventilated by exhaust only and have a carbon monoxide monitor + 2 speed fan. The primary type of artificial lighting is fluorescent, with zoned switching with motion sensors.
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 - Lift No.3 must have gearless traction with VV F motor servicing 8 levels (including basement)
 - Garbage rooms (B) & (C) must be ventilated by exhaust only, fluorescent lighting with motion sensors
 - Development to have a 70,000 l rainwater tank
 - Rainwater tank must be configured to collect run off from at least 575m² of roof area of all buildings in the development and connect it to 2995m² of common landscaped area

Building Sustainability Assessment

Certificate Number: **14910296**

Accreditation Number: 1503000131491

Signature: *[Signature]* Date: 18/07/2013

FLOOR PLAN - LEVEL RL 186.00
SCALE 1:100

REV	DATE
B	04 FEB 2013

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Chartered Architect No 60033

Job:
RESIDENTIAL FLAT BUILDING: 5-15 LAMOND DRIVE TURRAMURRA

Drawing Title:
FLOOR PLAN: LEVEL RL 186.00

North point:

Scale: 1:100 @ A0
Date: 31.08.2012

Drawn: JA
Checked: DM

Drawing no. **DA110B**

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